

HOME INSPECTION REPORT



Beverly Thompson/ Realtor
Central Washington Realty

Prepared seclusively for:

Ken & Barbra Smith

Property Located at:

**167 Hilltop Sq.
East Wenatchee, WA**

NOTICE TO THIRD PARTIES: This document is the exclusive property of Professional Home Inspections and the client listed above and is not transferable to any third parties or subsequent buyers. Our inspection services have been performed via a written contract agreement that limits its scope and usefulness. Unauthorized recipients of any knowledge, written or verbal, garnered as a result of our services tendered as part of this agreement are therefore advised not to rely upon the information, but rather to retain the services of an appropriately qualified home inspector of their choice to provide them with their own property evaluation.



PROFESSIONAL HOME INSPECTIONS

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WELCOME

Professional Home Inspections has been performing home and building inspection for over 30 years. Established in 1989, we have seen many changes to the home inspection industry. Our key goal is to educate our clients through the inspection process.

Enclosed is the information attained during the inspectors walk through of your new home. If you were not present during the inspection, we invite you upon review of the report, to contact us to assist you with any questions.

We would like to thank you for allowing us to be of assistance with your inspection needs. Your feedback and support is greatly appreciated. Please feel free to share with us any comments or visit our website.

Sincerely

Randy Haywood

Owner / inspector



WA. State Inspection
Lic. #257

SPI / Pest
Lic. #50666



I (Client) hereby request a limited visual inspection of the structure at the noted address to be conducted by PROFESSIONAL HOME INSPECTIONS, for my sole use and benefit. I warrant that I will read the following agreement carefully; I understand that I am bound by all the terms of this contract.

SCOPE OF INSPECTION The scope of the inspection and report is a limited visual inspection of the general systems and components of the home / property to identify any system or components listed in the report, which may be in need of immediate major repair. The inspection will be performed in compliance with the accepted standards of practice and code of ethics, of the Home Inspection Industry and Washington State Department of Licensing, which copies of, are available upon request.

"Tap Here" to access the Washington State Department of Licensing - Chapter 308-408 WAC HOME INSPECTORS
The standards of practice were developed as the minimum standard for home inspections.



OUTSIDE THE SCOPE OF THE INSPECTION Any area which is not exposed to view, is concealed or is inaccessible because of soil, walls, floors, carpets, ceilings, furnishing or any other item, is not included in this inspection. The inspection does not include any destructive testing or dismantling. Client agrees to assume all the risk for all conditions that are concealed from view at the time of the inspection. This inspection, does NOT substitute for real estate transfer disclosure's, which may be required by law. Whether or not they are concealed, the following

ARE OUTSIDE THE SCOPE OF INSPECTION:

- Building code or zoning ordinance violations
- Geological stability or soils condition
- Structural stability or engineering analysis
- Asbestos, radon, formaldehyde, lead paint or water content or air quality, electromagnetic radiation or any environmental hazard.
- Building value appraisal or cost estimates.
- Condition of detached buildings.
- Pools or spas bodies and underground piping
- Private water or private sewage systems
- Saunas, steam baths, or fixtures and equipment
- Radio controlled devices, automatic gates, elevators, lifts, dumbwaiters and thermostatic or time clock controls.
- Water softener / purifier systems or solar heating systems
- Furnace heat exchangers, freestanding appliances, security alarms or personal property
- Prediction of life expectancy of any item
- Adequacy of efficiency of any system or component
- Specific components noted as being excluded on the individual system inspection forms.

(Some of the above items may be included in the inspection for additional fees)

USE BY OTHERS (Buyer inspection) : Client promises inspector that client has requested this inspection for clients own use only and will not disclose any part of the inspection report to any other person with these exceptions ONLY: A copy may be provided to the current seller(s) of the property for their use as part of this transaction only, and a copy may be provided to the real estate agent representing client and/or a bank or other lender for use in clients transaction only. **(Seller inspection) :** Client / clients representative, has requested this inspection for marketing / sales tool. Client will not share / disclose any part of the inspection with out allowing full access to all pages of report. Third parties use of this report does not transfer any degree of responsibility / liability of the inspection firm for errors or emissions and is information only. A consultation / overview with the inspector for education / knowledge of the findings is recommended for parties receiving copies of this report. Consultation fee's apply at a discounted rate of a full inspection.

This report is not a warranty, guarantee or insurance policy. Your Inspector is a home inspection generalist and is not acting as a licensed engineer or expert in any craft or trade. If your inspector recommends consulting other specialized experts, client must do so at client's expense. When a component shows the need for maintenance, repair or update. Work is NOT required, but a recommendation. Recommendations are too best building practices for improved long term performance of component in question. Report is NOT intending who (buyer / seller) who is responsible to carry out recommendations.

DISPUTES: Client understands and agrees that any claim for failure to accurately report the visually discernible conditions at the Subject Property, as limited herein above, shall be made in writing and reported to the Inspector within ten business days of discovery. Client further agrees that, with the exception of emergency conditions, Client or Client's agents, employees or independent contractors will make no alterations, modifications or repairs to the claimed discrepancy prior to a re-inspection by the Inspector. Client understands and agrees that any failure to notify the Inspector as stated above shall constitute a waiver of any and all claims or said failure to accurately report the condition in question.

ARBITRATION: Any dispute concerning the interpretation of this agreement or arising from this inspection and report, except one for inspection fee payment, shall be resolved informally between the parties or by arbitration conducted in accordance with the rules of a recognized arbitration association except that the parties shall select an arbitrator who is familiar with the home inspection industry. The arbitrator shall conduct summary judgment motions and enforce full discovery rights as a court would as provided in civil proceeding by legal code.

ATTORNEYS FEES: The prevailing party in any dispute arising out of this agreement, the inspection, or reports (s) shall be awarded all attorneys' fees, arbitrator and other costs.

LIMITATION ON LIABILITY INSPECTOR'S LIABILITY FOR MISTAKES OR OMISSIONS IN THIS INSPECTION REPORT IS LIMITED TO A REFUND OF THE FEE PAID FOR THIS INSPECTION AND REPORT. THE LIABILITY OF INSPECTOR'S PRINCIPALS, AGENTS, AND EMPLOYEES IS ALSO LIMITED TO THE FEE PAID. THIS LIMITATION APPLIES TO ANYONE WHO IS DAMAGED OR HAS TO PAY EXPENSES OF ANY KIND BECAUSE OF MISTAKES OR OMISSIONS IN THIS INSPECTION AND REPORT. THIS LIABILITY LIMITATION IS BINDING ON CLIENT AND CLIENT'S SPOUSES, HEIRS, PRINCIPALS, ASSIGNS AND ANYONE ELSE WHO MAY OTHERWISE CLAIM THROUGH CLIENT. CLIENT ASSUMES THE RISK OF ALL LOSSES GREATER THAN THE FEE PAID FOR THE INSPECTION. CLIENT AGREES TO IMMEDIATELY ACCEPT A REFUND OF THE FEE AS FULL SETTLEMENT OF ANY AND ALL CLAIMS THAT MAY EVER ARISE FROM THIS INSPECTION.

SEVERABILITY: Client and inspector agree that should a court of competent jurisdiction determine and declare a portion of this contract is void, or unenforceable, the remaining provisions and portions shall remain in full force and effect.

EXCEPTANCE: Use of any portion of information with in this report, will bound the client to full legal definition of this contract, and will act as a signature and full acceptance / agreement.

NOTE - A re-inspection fee may be charged at the rate of \$75 per hour, including travel for additional trips or request for re-inspections for repair verification. It is not the inspectors or the inspection firms responsibility to verify components are ready for inspection or utility's are on at the time of inspection.

ADDRESS: 167 Hilltop Sq.

Date of Inspection: 4/24/23

Start Time: 2:00 PM

Finish time: 5:00 PM

Temperature: 63 degree

Weather Condition: Mostly Sunny
(start of inspection)

Present During Inspection: Buyers Rep

Building Type: Single Family

Year of Original Construction: 1993

of levels 2

Square Footage: 1,800

of Bedrooms: 3

of Bathrooms: 3

Additions Noted: n/a

Entry of Building faces: South

Building Occupied: Occupied

PROPERTY INFORMATION



The "HOME ANALYSIS" report is a systematic breakdown of all major aspect of the home into their individual components. The report is a visual assessment of those components and performance tested parameters. Items not found in this report are considered beyond or outside the scope of this inspection. Some components maybe noted as present for clients education but are outside the scope of the inspection

NOTE: *Make sure you have read and understand the pre-inspection / contract agreement prior to reviewing the report. The report contains technical information. If you weren't present during this inspection, please call the office to arrange for a verbal consultation with your inspector. If you choose not to consult with the inspector, this inspection company cannot be held liable for the understanding or misunderstanding of this reports content. All items needing maintenance or recommended for repairs or review, are assumed to be completed by a licensed, professional of the industry noted* **FOOT NOTE:** *When printing this report. It is recommended printing in color due to highlighted comments and contrast of report findings. Pictures / comments maybe harder to discern in gray scale or black / white. Hyper links will only respond when viewing on a computer / phone.*

UNDERSTANDING YOUR REPORT

THE FOLLOWING COMMENTS / SYMBOLS MAYBE NOTED IN THE REPORT

APPEARS SERVICEABLE: *When "APPEARS SERVICEABLE / SERVICEABLE" is stated.* The inspector did not observe conditions that would lead him to believe major problems existed with this system or component. The item is capable of being used as designed. Some serviceable items may show wear. Though serviceable, further recommendations maybe outlined in the comment / note section.

REVIEW / MONITOR: Where "REVIEW / MONITOR" is noted as a comment. The component shows deterioration or wear at or nearing the need for repair. ALSO, conducive conditions as well as, non traditional installations. Items outside the scope of the inspection SOP, or not visible at time of inspection. Items are recommended to be reviewed for performance by a professional in the trade of the component in question.

MINOR / MAINTENANCE: *Where "MINOR" wear or "MAINTENANCE" is noted as a comment.* This component shows minor wear / deterioration often typical to the age / style of the component and most likely does not need replacement. General, cleaning or maintenance should adequately maintain component.

MODERATE: *Where "MODERATE" wear is noted as a comment.* This component shows moderate wear and warrants additional, attention, maintenance or repairs. Wear may require replacement for premium performance. This component should be monitored but can most likely return to serviceable condition.

EXCESSIVE / HEAVY: *Where "EXCESSIVE / HEAVY" wear is noted as a comment.* This component shows Excessive / Heavy wear and most likely requires replacement. This component should be closely monitored and would be considered near or at the end of its useful life. Depending on the component, health and safety risks may exist.

REPAIR / CORRECTION: *Where "REPAIR / CORRECTION" is noted as a comment.* Immediate attention or servicing by a qualified licensed contractor or specialty tradesman dealing with that item or system is recommended

PHOTO / PHOTO PAGES: Maybe included with in the report to document, clarify noted issues, needed repairs. Not ALL noted components issues may have pictures attached.

GENERAL NOTES PAGE: Comments or topics not with in typical SOP or report guidelines may be noted on the GENERAL NOTE page at or near the end of the report. Review is recommended

LIMITATIONS: Attention to the "LIMITATIONS" noted for each section of the report and all sub note sections is recommended. Review of the industry SOP is recommended.

COMMENTS / NOTES: Comments highlighted "RED" by the inspector, are needing maintenance, repairs or further attention. An "ASTRIK" (✱) maybe used to draw further attention to a components condition. An asterisk may also note the exclusion of a component from the inspection.

"BLUE" highlights signify details client should be aware of for informational, educational and monitoring purposes. Work / repair recommendations do not typically apply.

Not all pages noted on the index maybe present in the report or be applicable to the home / structure inspected.

REPORT INDEX

WELCOME

INVOICE

CONTRACT (2 pages)

KEY

" Click the page to view findings / information as applicable"



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WDO / PEST FINDINGS (as applicable)

NOTE PAGE (as needed)

EDUCATIONAL LINKS

INSPECTION STANDARDS OF PRACTICE (upon request)

***** PICTURES WILL BE ADDED AS NEEDED**

Not all pages noted on the index maybe present in the report or be applicable to the home / structure inspected.

REPORT OVERVIEW

167 Hilltop Sq.

NOTE: Overview covers components needing, repair, maintenance and items that require future monitoring. The report overview is a **REFERENCE ONLY** and does not exclude reading the report. Additional report information is present as applicable to page and components with in the report.



RECOMMENDATIONS / REPAIRS / MAINTENANCE

Click the "PICTURE ICON " to go to picture page / Click the section "HEADER" to go to that page



GROUNDS



PORCHES / DECKS

Paint / finish is needed at railings of rear deck. Review / maintenance*



EXTERIOR



ROOF

No gutter noted at down spout off rear over deck. Education / review / update is recommended



ATTIC



KITCHEN

Improper routing of dishwasher drain line. Education / update to high loop method is recommended. - Seal oversized penetration for vent pipe at cabinet over range. Review*

LAUNDRY

Laundry sink is not secured to wall or floor. Review / securing is recommended



HOT WATER TANK

No seismic straps noted on hot water tank at time of inspection. Education / update is recommended



ELECTRICAL

No compression collar, insulator noted at inlet wire to panel. Wire contacts panel. Education / update is recommended



HEATING



AIR COND.



ATTACHED GARAGE



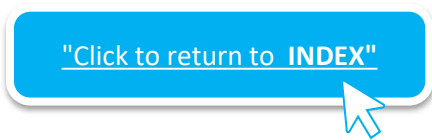
HEALTH / SAFETY

DESCRIPTION

Site Description:	Minor Slope	Domestic Hose Bibs:	Appears Serviceable
Site Drainage:	Appears Serviceable	<i>*Irrigation Water to Site:</i>	Yes
Grade / Slope of soil at Foundation:	Appears Serviceable	<i>*Sprinkler System Noted:</i>	Yes
Landscaping Near Structure:	Appears Serviceable	<i>*Sprinkler Timer Location:</i>	Garage
Raised Flower Beds at Structure:	n/a	<i>*Back Flow Protection Noted:</i>	n/a (where required)
		<i>*Sub Surface Drains Noted:</i>	No
		Drain Location:	n/a

LIMITATIONS*

Yard sprinkler systems are NOT PART OF INSPECTION and are NOT tested. Back flow protection maybe referenced or noted as present but component should be verified as meeting current health / safety regulations, outside the scope of the inspection. Underground piping is not part of the inspection . - Pumps and attached components, are not inspected. Sub surface drainage systems are noted, but not tested. Discharge location or catch systems are outside the scope of inspection. Verify discharge locations with buyer or local utility. Regular maintenance of drainage systems is required. - Hose bibs are not operated during seasons of possible freezing. Weatherized hose bibs are not tested.



Address: 167 Hilltop Sq.

DESCRIPTION

Driveway Material Type: **Concrete**
Driveway Condition: **Appears Serviceable***

Sidewalks: **Appears Serviceable**
Patio: **Appears Serviceable***

Attached Exterior Stairs: **No**
Railing where required: **n/a**
Railing condition: **n/a**

Detached Exterior Stairs: **No**
Railing where required: **n/a**
Railing condition: **n/a**

***Perimeter Retaining Walls:** n/a

***Fence Condition:** n/a
***Gates Condition:** n/a

ADDITIONAL NOTED ITEMS OUTSIDE INSPECTION SCOPE: NONE

NOTES*

*Pavers at patio show degree's of settling. Monitor . - Driveway shows degree's of cracking. Monitor**

LIMITATIONS*

Perimeter retaining walls are outside the scope of the inspection, but retaining walls at or near structure visual performance maybe noted / reviewed as a courtesy to client. - Fences maybe noted as to visual condition as client service, but are outside the scope of the inspection for performance or health / safety.

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Brick paver patio shows degree's of settling Monitor



Example: Driveway shows degree's of cracking. Monitor*

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DESCRIPTION

ATTACHED PORCHES	Porch #1	Porch #2	Porch #3
Porch Location:	Front Entry		
Porch Materials:	Composite		
Surface Condition:	Appears Serviceable		
Structural Condition:	Appears Serviceable		
Porch Stairs:	Appears Serviceable		
Railing where required:	Yes		
Railing condition:	Appears Serviceable		

ATTACHED DECKS	Deck #1	Deck #2	Deck #3
Deck Location:	Rear		
Deck Material:	Composite		
Surface Condition:	Appears Serviceable		
Structure Condition:	Appears Serviceable		
Deck To Wall Flashings:	Review*		
Deck Fastened to Structure:	Yes		
Deck Stairs:	n/a		
Railing where required:	Yes		
Railing Condition:	Review*		

RECOMMENDED REPAIRS / MAINTENANCE*

Paint / finish is needed at railings of rear deck. Review / maintenance*

NOTES*

No deck to wall flashings, typical to age of construction. Education , monitor moisture impact at deck to wall transition.

LIMITATIONS*

Decks at or near grade can not be determined for structural supports or proper flashings, securement to structure. Inspector will not access areas beneath decks with less than three feet of clearance from the underside of joists to grade

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Address: 167 Hilltop Sq.

PORCH - DECK PICTURES



Finish at deck railings show heavy wear.



No deck to wall flashings noted

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ADDRESS: 167 Hilltop Sq.

EXTERIOR

DESCRIPTION

EXTERIOR WALL	Exterior Finish #1	Exterior Finish #2	Exterior Finish #3
Wall Covering Types:	COMPOSITE WOOD LAP		
Finish / Condition:	Appears Serviceable*		

Eaves / Soffits / Fascia: **Appears Serviceable**

Exterior Trims: **Appears Serviceable**

of Exterior Entry Doors: **1**

Door Knobs / Latches: **Appears Serviceable**

Weather Strip / Sweep: **Appears Serviceable**

Window / Glazing Condition: **Appears Serviceable**

Door finish / Condition: **Appears Serviceable**

of Sliding Door(s): **1**

Door Condition / Operation: **Appears Serviceable**

Lighting / Fixtures: **Appears Serviceable**

Switch's / Outlets / Wiring: **Appears Serviceable**

GFI Circuits: **Appears Serviceable**

Weatherized outlet covers : **Appears Serviceable**

NOTES*

Signs of typical wear noted to drip edge of siding of style, vintage. Monitor*

LIMITATIONS*

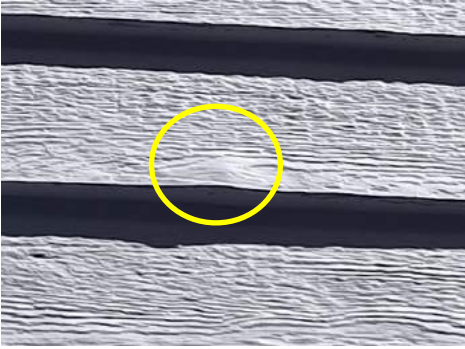
Wall insulation type and value is not verified. UFFI Insulation or hazards are not identified. Condition inside the walls can not be judged. Lead paint testing is not performed. If EIFS stucco systems are noted. Additional education regarding long term care and performance is recommended above and beyond inspector recommendations. Peripheral (yard, pool, low voltage, etc.) exterior lighting not attached to the home are not inspected. Lights / fixtures on sensors, timers are outside the scope of the inspection. Outlets in use (items plugged in) are not tested. - If a swimming pool / hot tub is noted present on site, further education regarding health / safety, access is recommended but components are outside the scope of this inspection.

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Address: 167 Hilltop Sq.



Example: Signs of typical wear noted to drip edge of siding of style, vintage.

EXTERIOR PICTURES

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DESCRIPTION

ROOF COVERING / STYLE	Roof #1	Roof #2	Roof #3
Roof Style:	GABLE w/DORMER		
Method of Inspection:	Walked		
Material Type:	ROLLED COMPOSITION		
% of roof Inspected:	70%		
Number of layers:	1		
Roof(s) Condition:	Appears Serviceable*		

Plumbing / Vent Flashings:	Appears Serviceable	Gutters Installed:	Yes
Valley / Roof to Wall Flashings:	Appears Serviceable	Gutters at Full Perimeter:	No
Drip edge at eave and gable:	Appears Serviceable	Gutter Condition:	Appears Serviceable
Solar Tubes / Skylights(s):	n/a	Down Spout Condition:	Review*
		Down Spout Terminations:	Appears Serviceable
<i>*Heat Cables installed:</i>	No	<i>*Down Spout Drains Installed:</i>	n/a
Location:	n/a		

RECOMMENDED REPAIRS / MAINTENANCE *

No gutter noted at down spout off rear over deck. Education / review / update is recommended

NOTES*

Roof is newer install.

LIMITATIONS*

Roofs of certain material are not walked to avoid causing damage. Not all tiles/slates/panels are checked for attachment. Inspection is limited. The report is an opinion of the general quality and condition of the roofing. The inspector cannot, and does not, offer an opinion or warranty as to whether the roof has leaked in the past, leaks now, or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. Number of layers noted in report is an estimate based on visual inspection of a homologation of areas and may not best describe entire roof area. Sub areas are not visible, no destructive testing is performed during inspection. Roof that are noted as "Association" maybe reviewed but are outside the scope of the inspection and further communication with the association is recommended. Gutters are not water tested for leakage or blockage. Regular maintenance of drainage systems is required. Subsurface drains are noted only, not tested. Heat Cables maybe noted but are not tested and are outside the scope of the inspection. Education is recommended for health / safety.

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Address: 167 Hilltop Sq.



No down spout noted at rear gutter over deck.



Roof: Roof is a newer install.

ROOF PICTURES

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DESCRIPTION

Percentage % of Roof with Attic:	100%	Percentage of attic visible:	60%
Attic #1 Location:	Hallway		
Were Attics Entered:	No		
Roof Framing / Sheathing:	Appears Serviceable		
Attic wiring / Junction Box's / Outlets:	Appears Serviceable		
Insulation Type #1:	Blow In Fiberglass	Insulation Location:	Complete
Insulation level(s) to current standards:	No		
Insulation Condition:	Appears Serviceable		
Ventilation (High / Low):	Appears Serviceable		
Eave Baffles Installed:	Yes		
Exhaust fans properly discharged:	No		
<i>*Power Ventilator Installed:</i>	No		

LIMITATIONS*

Determining the presence of asbestos or other hazardous materials is beyond the scope of this inspection . Inspector will make assessment of Insulation protection levels at attic as visible at time of inspection. Information maybe effected by limited access or multi layers of insulation, etc. Attics with Loose Fill insulation are not typically accessed due to possible damage to insulation or structure. Insulation when present blocks full view of floor of attic area and limits inspection. Attic fans / power ventilators are noted but not tested. Ventilation is assessed to industry standards not performance.

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Example: Attic framing / insulation



Example: Areas of minor mildew, moisture impact noted to sheeting .
Monitor*

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DESCRIPTION

MAIN INTERIOR

ROOMS INSPECTED:	LIVING ROOM SHOP	DINNING ROOM	FAMILY ROOM
Interior Ceilings:	Appears Serviceable	Interior Stairs:	Appears Serviceable
Interior Walls:	Appears Serviceable	Handrails:	Appears Serviceable
Interior Floor Coverings:	Appears Serviceable	Lights / Fixtures:	Appears Serviceable
Interior Door(s) / Condition:	Appears Serviceable	Outlets / Switch's:	Appears Serviceable
Door Knobs / Latches:	Appears Serviceable	# Of Ceiling Fans:	n/a
Window Material Type:	Vinyl	Ceiling Fan Operation:	n/a
% of dual pane windows:	100%	Door Bell:	Not tested*
Dual Glazing weather seal:	Appears Serviceable	Wet Bar :	n/a
Window Operation / Condition:	Appears Serviceable	Under Sink Plumbing:	n/a
*Storm Windows Present:	n/a		
*Miscellaneous Components:	NONE		

NOTES*

Door bell is digital and was not tested.

LIMITATIONS*

The above details are inclusive for the main, common areas of home, i.e. living room, dining, etc. See bedrooms, bathrooms, kitchen & laundry pages for details of those specific room features. - Miscellaneous components (built in sound, security, alarms, central vac, intercom, etc.) are noted but NOT part of inspection. - The function or condition of shutters, awnings, storm doors, storm windows, screens, and similar accessories are outside the scope of the inspection.

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DESCRIPTION

Bathroom #1 Location:	Primary		
Bathroom #2 Location:	Upper Hall		
Bathroom #3 Location:	Laundry		
# of Toilet(s):	3	# of Tub(s):	2
Toilet(s) Condition:	Appears Serviceable	Tub(s) Condition:	Appears Serviceable
		<i>*Jacuzzi Motor Respond :</i>	n/a
# of Sink(s):	2	# Shower(s):	2
Sink(s) Condition:	Appears Serviceable	Shower Enclosure(s):	Appears Serviceable
Drain Stopper:	Appears Serviceable	Door(s):	n/a
Faucet / Plumbing (under sink):	Appears Serviceable	Shower Head(s):	Appears Serviceable
Counter / Back Splash(s):	Appears Serviceable	Valve / Spout - Diverter(s):	Appears Serviceable
Cabinet(s)	Appears Serviceable	Drain(s):	Appears Serviceable
Exhaust Fan(s):	Appears Serviceable	Entry Door(s) Operation:	Appears Serviceable
Heat:	Appears Serviceable	Window(s):	Appears Serviceable
<i>*In Floor Heating present:</i>	No	Lights / Outlets / Switches:	Appears Serviceable
		GFI Protection:	Appears Serviceable
Wall(s):	Appears Serviceable		
Ceiling(s):	Appears Serviceable		
Flooring(s) :	Appears Serviceable		

LIMITATIONS*

Moisture impact will be noted Due to styles of floor coverings (i.e.. Tile) determining possible or degree of sub surface damage is not fully possible. If moisture damage or signs of past moisture damage is noted by the inspector, further evaluations is recommended and the responsibility of the client. Due to styles of shower enclosures, tile, etc. determining the degree of sub surface damage is not fully possible. If moisture damage or signs of past moisture damage is noted, further evaluation is recommend and is the responsibility of the client. Radiant heating equipment such as floors are noted but performance is outside the scope of the inspection. Jacuzzi tubs will be noted. Pump / motor is noted as operational only. Full operation performance is outside the scope of the inspection. Leaks of jet components can be hidden by enclosures. Regular maintenance / and full inspections are recommended .

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DESCRIPTION

Bedroom #1 Location:	Primary	Room furnished / % Visible:	20%
Bedroom #2 Location:	SW Croner	Room furnished / % Visible:	20%
Bedroom #3 Location:	South Side Hall	Room furnished / % Visible:	30%

Interior Entry Door(s): Appears Serviceable
Exterior Entry Door(s): n/a

Window(s): Appears Serviceable
Sill(s): Appears Serviceable

Closet Door(s): Appears Serviceable

Interior Ceilings: Appears Serviceable
Interior Walls: Appears Serviceable
Flooring(s): Appears Serviceable

Lights / Outlets / Switches: Appears Serviceable

Heat: Appears Serviceable

Ceiling Fan(s): n/a

LIMITATIONS*

Determining conditions of all thermopane windows is not possible due to temperature, weather and lighting variations. Screens are not inspected or noted. - The condition of walls behind wallpaper, paneling and furnishings cannot be judged. Determining whether acoustic sprayed ceilings contain asbestos is beyond the scope of this inspection. For information contact the department of Environmental Protections (EPA) or an asbestos specialist. - Determining odors or stains to floorings is not part of inspection. Floor covering damage / stains may be hidden by furniture - Smoke detectors not in reach or due to height are noted not tested. - Egress for windows is based on most current health / safety recommendations and does not imply windows must be updated but is recommended.

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DESCRIPTION

# of Sink(s):	1	Type of Cooking Appliance(s):	Range
Sink(s) Condition:	Appears Serviceable	<i>*Were appliances operated:</i>	Yes
Spray Wand:	Appears Serviceable	Power / Fuel Type:	Electric
Faucet:	Appears Serviceable	<i>*Visually Condition :</i>	Appears Serviceable
Plumbing (under sink):	Appears Serviceable	Vent Fan / Hood:	Review*
Disposal(s):	Appears Serviceable	Lighting / Switch's / Outlets:	Appears Serviceable
Counter / Back splash:	Appears Serviceable	GFI Circuits:	Appears Serviceable
Cabinets:	Appears Serviceable	Ceiling:	Appears Serviceable
Dishwasher ran during inspection:	Yes	Walls:	Appears Serviceable
Drain Configuration:	Review*	Flooring:	Appears Serviceable
<i>*Visually Condition :</i>	Appears Serviceable	Window:	Appears Serviceable

Additional Appliances:
(not inspected)

REFRIGERATOR

BUILT IN MICROWAVE

RECOMMENDED REPAIRS / MAINTENANCE*

Improper routing of dishwasher drain line. Education / update to high loop method is recommended. - Seal oversized penetration for vent pipe at cabinet over range. Review*

LIMITATIONS*

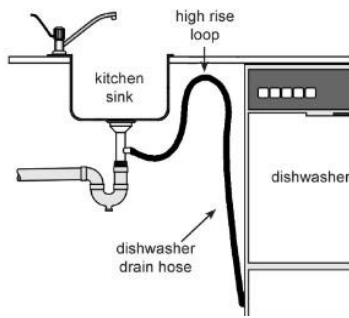
The above noted appliances are inspected for proper power sourcing but are not inspected for full operation, or performance efficiency. - A visual assessment will be noted - Operation of appliances is at the discretion of the inspector. Appliances are not moved. Determining adequacy of washing and drying functions of dishwasher is not part of this inspection. - Self-and / or continuous cleaning operations, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Built in components such as microwaves are only reviewed as to possible venting capability's. - GFCI protections is a health / safety component and is a recommendation, though it may not have been a code requirement for age of home inspected.

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Improper routing of dishwasher drain line. Education /update to high loop is recommended



Seal oversized penetration for vent pipe at cabinet over range.

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DESCRIPTION

Laundry room shared with:	Bathroom
<i>*Washer Present:</i>	Yes
<i>*Dryer Present:</i>	Yes
<i>*Were Appliances Operated :</i>	No
Appliance Supply Plumbing:	Not tested
Appliance Waste Plumbing:	Not tested
Laundry Electrical:	Appears Serviceable
Dryer Vent:	Appears Serviceable
Laundry Sink:	Appears Serviceable
Cabinet:	Review*
Faucet:	Appears Serviceable
Plumbing (under sink):	Appears Serviceable
Entry / Access Door Operation:	Appears Serviceable
Window:	Appears Serviceable
Walls:	Appears Serviceable
Ceiling:	Appears Serviceable
Flooring :	Appears Serviceable
Lights / Switches / Outlets:	Appears Serviceable
GFI circuits:	n/a
Exhaust Fan Present:	Yes
Heat:	Appears Serviceable

RECOMMENDED REPAIRS / MAINTENANCE*

Laundry sink is not secured to wall or floor. Review / securing is recommended

LIMITATIONS*

Laundry appliances are outside the scope of the inspection. Appliances maybe ran / operated at inspectors discretions to verify power to outlets. Washing machine maybe operated to verify plumbing as attains to supply & waste piping ONLY. Appliances are not moved during the inspection. Floors beneath or condition maybe hidden to inspection. - Moisture impact will be noted as visible. Due to styles of floor coverings (i.e.. Tile) determining possible or degree of sub surface damage is not fully possible. If moisture damage or signs of past moisture damage is noted by the inspector, further evaluations is recommended and is the responsibility of the client. - GFCI protections stated notes code compliance for the age of construction. Updates maybe recommended

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DESCRIPTION

Domestic Water Type:

CITY

Waste System Type:

CITY

Main Water Shut Off Location: Under Stair Closet
Main Water Line Material: Copper
Visible Main Line Condition: Appears Serviceable
Pressure Regulator Installed: Yes
Pressure: Appears Serviceable
Supply Lines Type: Copper
Supply Lines Condition: Appears Serviceable
Waste Lines Type: ABS
Waste Lines Condition: Appears Serviceable
Utility Sink : No
Utility Sink location : n/a
Faucet / Plumbing Under Sink: n/a
Cabinet: n/a
Sump Pump present: No
***Sump Pump Responded:** n/a
***Floor Drain(s) Location:** None

PLUMBING

LIMITATIONS*

Most lines are not fully visible. Underground pipes or pipes inside walls / ceilings cannot be judged for sizing, leaks or corrosion. Pipes in crawl space covered by insulation are not fully visible, insulation is not removed for inspection. Floor drains are NOT tested during inspection. Water quality or testing for hazards such as lead is not part of this inspection. Estimate of remaining life is not part of this inspection. Solar systems are not part of this inspection. City sewer service, septic system's and any underground waste pipes are not a part of this inspection. Future drainage performance is also not determined. Sump pumps are visually inspected but not opened. Education is recommended regarding sumps and proper performance. Be advised that some older ABS plastic waste piping systems have experienced documented problems (1984 - 90). Education is recommended

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DESCRIPTION

HOT WATER TANKS

HOT WATER TANK	Tank #1	Tank #2	Tank #3
Hot Water Tank Location(s):	Laundry Closet		
Size of tank(s) (gal.):	50 gal.		
Shut Off Valve (present):	Yes		
Fuel / Power Type:	Electric		
Vent Flue Pipe Condition:	n/a		
*TPR Valve Properly Vented:	Yes		
*Pressure Tank Installed:	No		
*Circulator Pump installed:	No		
Seismic Strapping installed:	Review*		
Catch pan installed:	Yes		
Insulated Pad Installed:	Yes		
Hot Water Tank Condition:	Appears Serviceable		

Water Temperature: 117 degree

Water Temperature tested at: Kitchen

* Water Softener Present: Yes*

* Water Filters Present: No

RECOMMENDED REPAIRS / MAINTENANCE*

No seismic straps noted on hot water tank at time of inspection. Education / update is recommended

NOTES*

Water softener noted at shop.

LIMITATIONS*

Water Softener equipment / filter components are outside the scope of inspection. Estimate of remaining life is not part of this inspection. Water filters are noted but are outside the scope of the inspection. Circulator pumps are noted but are outside the scope of the inspection.

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Address: 167 Hilltop Sq.



Hot water tank noted at laundry closet. Dated: 2019. No seismic straps noted at time of inspection



Serial No.	M031913014	
Model No.	PRO150 T2 RH95	
Manufacture Date	15JAN2019	
Exp. U.S. Code	50	
Phase	1	1
Volts AC	240	208
Upper Element Watts	4500	3500
Lower Element Watts	4500	3500
Total Watts	4500	3500



Main water shut off was noted at under stair closet



Water softener was noted (outside scope)

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DESCRIPTION

SERVICE Inlet method: Under Ground
SERVICE Inlet, Mast Head, Meter: Appears Serviceable
Service Ground: Appears Serviceable
SERVICE Disconnect Location: Service Panel

SERVICE PANEL	Panel #1	Panel #2	Panel #3
Panel Location(s):	Garage		
Amperage(s):	200		
Type of Protection:	Breaker		
Arc Fault Protection present:	No		
Panel(s) Condition:	Review*		

RECOMMENDED REPAIRS / MAINTENANCE*

No compression collar, insulator noted at inlet wire to panel. Wire contacts panel. Education / update is recommended

LIMITATIONS*

If the service amperage is less than 100 amps, upgrade maybe needed to operate larger electrical appliances. - We DO NOT move personnel items. Some furnishings may prevent testing of ALL outlets and switches. Outlets with devices plugged in WILL NOT be tested. The above section regards general wiring only, Bathrooms / Kitchen / Bedrooms and Attached Garages, electrical will be noted on individual pages. - When knob and tub wiring is noted, further education by client is recommended. Review by electrician for percentage of remaining knob should be considered. - GFCI & AFCI protection stated is based on code compliances per the age of the home. Do to the health / safety nature, updates maybe recommend or should be considered.

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Service Panel at Garage



No compression collar / insulator on wire entering panel.

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DESCRIPTION

HEATING SYSTEM	System #1	System #2	System #3
System Type(s):	HEAT PUMP	FORCED AIR	
Equipment Location(s):	Laundry Closet	Family Room	
Distribution Type:	Ducts / Register	Wall	
Thermostat:	Appears Serviceable	n/a	
Power / Fuel type:	Electric	Propane	
Venting:	n/a	Yes	
Combustion Air:	n/a	Yes	
Burners:	n/a	Not tested	
System Operation:	Appears Serviceable	Not operated*	
Filter Location:	At Cold Air Return	n/a	
Filter Type:	Disposable	n/a	
Filter Size:	16 x 20 x 1	n/a	
Filter Condition:	Appears Serviceable	n/a	
Whole House Vent Present:	Yes	n/a	

***Humidifier Present :** No

***Asbestos Components noted:** No

NOTES*

Propane wall heater was noted at basement family room. Unit was not operated at time of inspection. Unit is back for whole house furnace system.

LIMITATIONS*

If a fuel burning heater / furnace is located in a bedroom, we recommend evaluation by a qualified heating contractor for safety and air volume requirements. Asbestos materials have commonly been used in heating systems. The presences of asbestos is outside the scope of this inspection. Components that may contain asbestos will be noted. Underground fuel tanks and piping will be noted. Possible, performance, failure is outside the scope of the inspection. If units are present further evaluation is recommended. Pipes inside walls or pipes concealed from view cannot be judged and the inspector does not perform tests for gas leaks or pipe sizing, It is suggested, homes with fuel burning devices, install a carbon monoxide detector. Thermostats are not checked for calibrations or timed functions. Heating equipment is tested for operation. Adequacy, efficiency or even heat distribution of the system through the house is not part of the inspection. Electronic air cleaners, humidifiers and de-humidifiers are beyond the scope of this inspection, It is recommended regular service be performed by a qualified HVAC technician.

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DESCRIPTION

***IMPORTANT: If R22** is the type of refrigerant noted. Please **Click on the EPA Icon** below or visit: www.epa.gov/ods-phaseout for additional information from the Department of Environmental Protection Agency regarding the changes to the heating and cooling industry addressing outdated / phasing out of equipment.



Type of Refrigerant:	R22		
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COOLING SYSTEM	System #1	System #2	System #3
Equipment Location(s):	West Side		
Electrical Disconnect Present:	Yes		
Refrigeration Line:	Appears Serviceable		
Insulation on Lines:	Appears Serviceable		
Condensation Line:	Appears Serviceable		
*Condensation Pump Installed:	No		
Temperature differentials:	Not tested		
A/C Operation:	Not Operated*		

Window / Wall AC unit present* :

NOTES*

Exterior heat exchanger was not tested in AC mode due to exterior temps below 65 degree's Unit responded in heat mode. - Equipment is older / original and shows wear typical to age. Education / monitoring is recommended due to age.

LIMITATIONS*

The inspector does not perform pressure tests on coolant systems; therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not part of the inspection. - Forced Air / Heat pump Equipment is not tested in the A/C mode during times exterior temperatures are lower than 65 degree's due to possible negative impact to cooling equipment. Further education / evaluation would be recommended. - Condensation pumps are noted, but not tested during inspection. Education recommended - Wall / window units are noted and tested for power only. Efficiency and performance are noted assessed

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Address: 167 Hilltop Sq.

HEATING - AIR COND. PICTURES



Furnace Equipment was tested with thermal imaging.



Exterior heat exchanger / AC Equipment is original and should be monitored due to age. Equipment was tested with thermal imaging.



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Propane wall furnace was noted at family room. Unit was not operating at time of inspection, unit is used for back up to Heat Pump system.

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DESCRIPTION

Type of construction : Basement

Basement Foundation Material: Concrete
% of Basement finished: 100%
% of foundation visible: 20%
Foundation Condition: Appears Serviceable
% of Basement Slab visible: 0%
Basement Slab Condition: Appears Serviceable

Visible Framing (joists, rims, beams): Appears Serviceable

Basement Window Wells: n/a
***Window Wells meet Egress:** Yes
(where required)

NOTES*

Storage / personal items limited full inspection of interior of home

LIMITATIONS*

Foundations will be visually inspected at all exposed locations. Exterior grading, interior finish's will block full view of foundation. Noted cracks other than typical, should have further evaluation by qualified contactor / engineer. Water / moisture impacts will be noted as possible. Slabs are not typically visible due to carpet and floor coverings - all readily visible problems will be noted. See Main Interior, Bedrooms, bathroom, pages for additional information regarding rooms, finish and mechanical, peripheral component performance, health / safety. Egress is noted for education of health / safety recommendations, requirements, but may not be conforming to older constructed homes and are not required to update per report.

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Address: 167 Hilltop Sq.



Some rooms had extensive storage / personal items, limited inspection was possible at these locations.

SUB STRUCTURE PICTURES

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DESCRIPTION

Garage Door To living: Self Closure:	Appears Serviceable n/a	Lights / Outlets / Switch's: GFI Protection :	Appears Serviceable Not tested*
Garage Stairs to House: Handrails:	n/a n/a	Exterior Entry Door(s): Window(s):	Appears Serviceable Appears Serviceable
% of Garage Finished: Wall Covering: Ceiling Covering:	100% Appears Serviceable Appears Serviceable	Vehicle Door Type(s): Qty:	Roll UP 2
*Fire Barrier to Home:	Appears Serviceable	Vehicle Door Condition:	Appears Serviceable
Floor Material Type: % of Floor Visible: Floor Condition:	Concrete 5% Appears Serviceable	Auto Opener: Qty:	Appears Serviceable 2
		Electric Eye Sensor:	Appears Serviceable
		Garage is Heated: Type of Heat: Heater Operation:	No n/a n/a

NOTES*

Garage inspection is limited due to excessive storage / personal items.

LIMITATIONS*

Barriers between living and garage will be noted as to visible condition and penetrations or noted openings. Determining the rating of firewalls is beyond the scope of this inspection. - Framing, wiring and piping covered with drywall cannot be inspected. - Compression sensor on garage safety device are NOT tested due to possible damage to door. Electric eyes will be tested for operation and proper clearances.

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Address: 167 Hilltop Sq.



Inspection of interior of garage was limited due to extensive personal and storage items.



ATTACHED GARAGE PICTURES

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DESCRIPTION

On-site Fuel Type(s)*	Propane
Tank / Meter Location(s):	East Side
Visible Gas Line Condition:	Appears Serviceable
Tank / Meter Condition:	Appears Serviceable
*Smoke Detector Installed:	Yes
(at all recommended locations)	Yes
Tested:	No
*CO Detectors installed:	Yes
(at all recommended locations)	Yes
Tested:	No
*Tempered Glazing's:	Appears Serviceable
(where recommended / required)	
*Egress Windows:	Appears Serviceable
(where recommended / required)	
*Security System:	No
*Fire Suppression System Present:	No
*Environmental Concerns:	No

LIMITATIONS*

Smoke detector / CO sensors are noted but may not be tested due to install locations. Education regarding required locations is recommended. Education regarding maintenance schedules, testing is recommended. - Fire suppression / sprinkler systems are noted but are outside the scope of the inspection, education is recommended. - Items that may contain health concerns, environmental impact maybe noted but are outside the scope of the inspection. Further testing maybe needed to verify full presence / impact (i.e. asbestos, lead paint, etc..) Security systems are noted but are outside the scope of the inspection, education is recommended. Egress windows for safe evacuation from sleeping rooms or isolated basement family rooms are noted. Further education is recommended for health / safety but are not required updates. Doors / windows requiring safety glass are noted. Proper labeling is not always visible and may not be fully discernable as to protection. Education is recommended

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Address: 167 Hilltop Sq.



Noted propane tank. (outside scope of inspection)

HEALTH - SAFETY PICTURES

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REPORT ASSISTANCE

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- Pool Safety: [What do I do to make my pool safe?](#)

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- Drip Edge Flashing: [What is drip edge flashing and why do I need it.](#)
- Attic Ventilation: [All you need to know about attic venting](#)
- Calculating Porper Attic Venting: [Ventilation Calculator](#)

MECHANICAL

- Heat Pump: [How Long should my Heat Pump Last?](#)
[What is the difference of a heat pump and forced Air furnace?](#)
- Hot Water Tank: [How Long should my water heater last?](#)

ELECTRICAL

- GFI Protection: [What is "Ground Fault Interruption" \(GFCI\)](#)
- AFCI Protection: [What is "Arc Fault Protection" \(AFCI\) ?](#)
- Updating two prong outlets w/GFI: [My updated three prong outlets test Open Ground? But they have GFI !](#)
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